

Application No. 21-005

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Title

BY: Kelly

TOWN OF PHILLIPSBURG

APPLICATION FOR MINOR or CONVENTIONAL SITE PLANS

This application consists of 13 pages, as follow:

- | | |
|------------------|--------------------------------------------------------------------------|
| 1 - Title | 5 - General Data |
| 2 - Coordination | 6 - 7 Site Plan Checklist (Only for Minor Site Plan Applications) |
| 3 - Tax Data | 8 - 10 Preliminary Site Plan Checklist |
| 4 - Ownership | 11 - 13 Final Site Plan Checklist |

Pages 1 through 13 are to be completed by the applicant or his professional(s). Pages 6 and 7 are for **MINOR** site plan applications. Pages 8, 9, and 10 are for **Conventional (preliminary and final)** site plan applications. The checklist shall serve as a reminder of all items to be included on the plat. **The Administrative Officer and Town Engineer will review the application, plat and checklist prior to being scheduled for a public hearing.** This application will **not** be scheduled for a public hearing until all items on the checklist have been accounted for.

This application will be reviewed at the public meeting and will be deemed complete or incomplete by the Planning Board during this meeting. (Acceptance of this application by the Administrative Officer, review by the Administrative Officer or Town Engineer, or scheduling for a public meeting shall not be construed to deem this application complete.)

Date 5-10-21
Tax Map Sheet: 21 Block: 2101 Lot: 4 Zone: I-1
Address of Tract 55 AND 65 HOWARD STREET
Applicant B&J HOLDINGS
Project Name or Title PROPOSED OFFICE AND WAREHOUSE ADDITION
EPTAM PRECISION MOLDING

Application for: (check one block only)

This is a:

Minor Site Plan - Sketch Plat

☐

☐ New Application

Conventional Site Plan - Preliminary Plat

☒

☐ Revision or Resubmission
of a Prior Application

Conventional Site Plan - Final Plat

☒

Variance Required: Yes ☐ or No ☐

Note: This application with all required supporting information must be submitted at least 28 days prior to a regularly scheduled Planning Board Meeting.

APPLICATION FOR SITE PLAN

Check appropriate box and complete information for each individual responsible for project coordination:

☒ Applicant

Name

BJ Property Holdings, LLC

Address

65 Howard St,
Phillipsburg, NJ 08865

Phone

828 458 8929

Email

jjoy@eptam.com

☒ Land Surveyor

Name

PHILIP A. MCENTEE, JR., PLS

Address

33 HIBERNIA ROAD
ROCKAWAY, NJ 07866

NJ Lic #

24G504322700

Phone

(973) 957-3171

Email

PHIL@3WIRESURVEYING.COM

☒ Engineer

Name

DANIEL DAVIES, P.E., C.M.E.

Address

615 STATE ROUTE 94 SOUTH
NEWTON, NJ 07860

NJ Lic #

24GE04951800

Phone

(973) 300-0888

Email

DAVIESENGINEERINGLLC@GMAIL.COM

☒ Owner

Name

Robert A. Kolonia

Address

Robert K. Kolonia

Phone

65 Howard St
Phillipsburg, NJ 08865
828 458-8929

Email

jjoy@eptam.com

☒ Attorney

Name

William R. Edleston, Esq.

Address

461 Corliss Ave,
Phillipsburg, NJ 08865

Phone

908 859 5186

Email

lawoffice@edlestonlaw.com

☒ Other (specify) ARCHITECT

Name

RAYMOND E. O'BRIEN, RA

Address

P.O. BOX 361
19 MAIN STREET
BLAIRSTOWN, NJ 07825

Phone

(908) 362-5010

Responsibility

ARCHITECT

Email

RAY@REOBRA.COM

APPLICATION FOR SITE PLAN

Applicant's Name: B & J Holdings / Eptam
Owner's Name: B & J Holdings
Owner's Address: 125 Howard St. Phillipsburg, NJ 08865
Tax Map Sheet: 21 Block: 2101 Lot: 4 Zone: I-1

(The applicant shall have the following certification completed by the Tax Collector)

The real estate taxes and assessments for the above referenced property have been paid to 6/30/2021 and there (are) or (are no ☒) Payments currently due and owing. This statement is made in satisfaction of the provisions of N.J.S.A. 40:55D-39(e) and does not constitute a tax and assessment search pursuant to N.J.S.A. 54:5-12.

The sewer utility for the above referenced property have been paid to 3/31/2021 and there (are) or (are no ☒) payments currently due and owing.

As to the real estate taxes and assessments:

COLLECTOR OF TAXES
MUNICIPAL BUILDING
120 FILMORE STREET
PHILLIPSBURG, NJ 08865

(908) 454-5500

Date: 5/12/2021

By: Sandra Catter
TAX Collector
(Title)

Are there any liens against this property? No Amount owed \$ 0

Sewer amount owed \$ 0 Taxes owed \$ 0

APPLICATION FOR SITE PLAN

Applicant's Name EDTAM - Jim Jay

Owner's Name B+J Property Holdings

Proposed Use: WAREHOUSE

Does the property front on a county or state roadway? NO

If yes, what route(s)? N.A.

Area (acreage or square feet): Entire Tract 89,900 SF (2.06 AC)
: Developed Portion 41,790 SF (0.96 AC) LIMIT OF DISTURBANCE

Number of employees or tenants: 70 EMPLOYEES

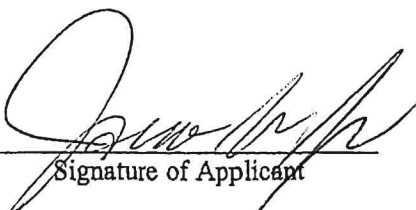
Does the proposed site plan require the extension of any of the following?
(Answer all questions with a yes or no)

Streets NO
Sidewalks NO
Curbs NO

Water Mains NO
Sanitary Sewer Mains NO
Storm Drainage Facilities NO
Other Utilities NO

Is the project currently served independently with all utilities? YES
For the purpose of this application "served independently" is defined as follows: 1. Existing structures - a separate connection to each utility main located in the street or utility easement (separate meters on one service connection is NOT considered "independent services"); 2. Vacant lots - all utilities are located in existing streets or existing utility easements, which are immediately adjacent to each lot.

Date: 3-8-2021


Signature of Applicant

APPLICATION FOR SITE PLAN

Applicant's Name: EPTAM / B & J Holdings

Owner's Name: B & J Property Holdings

This site plan (is X) or (is not) applied for by a corporation or a partnership.

All corporate or partnership applicants MUST complete the following ownership disclosure statement, which is in accordance with N.J.S.A. 40:55D-48.1.

OWNERSHIP DISCLOSURE STATEMENT

List all shareholders or partners with 10% or more of the stock or interest in said Corporation or Partnership (all Corporate Partners or shareholders owing 10% or more of the stock must disclose their interest as above provided).

| Shareholder or Partner | % Interest | Address |
|------------------------|------------|----------------------------------|
| Robert A. Kolonia | 84% | 5 Agnes Lane Milford NJ 08848 |
| Robert K. Kolonia | 16% | 230 Andersen Rd Milford NJ 08848 |

I have direct knowledge of the matters set forth on this ownership disclosure statement.

I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are will fully false, I am subject to punishment.

Name B & J Property Holdings, LLC
(Corporation or Partnership)

By Robert K Kolonia

Date: 4/26/21

Title Member

If there are questions concerning this form or its completion, refer to Statute (PL 1977, Ch. 336, N.J.S.A. 40:55D-48.1).

APPLICATION FOR SITE PLAN

Applicant's Name B+J Property Holdings / EPTAM

Owner's Name B+J Property Holding

Proposed Use: OFFICE & WAREHOUSE ADDITION

Does the property front on a county or state roadway? NO

If yes, what route(s)? N.A.

Area (acreage or square feet): Entire Tract 89,900 SF (2.06 AC)
: Developed Portion 41,790 SF (0.96 AC) LIMIT OF DISTURBANCE

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Date: 5-10-21

[Signature]
Signature of Applicant
attorney for Applicant